



Inspection Report

John HomeBuyer

Property Address:
369 Sea Trail Way
Anytown NC 11111



Trident Pro Home Inspections, LLC

**Paul E. Stubbs NC LIC# - 3731
P. O. Box 37282
Raleigh, NC 27627
919-818-3926**

A handwritten signature in cursive script that reads "Paul E. Stubbs".

Table of Contents

[Cover Page..... 1](#)

[Table of Contents 2](#)

[Intro Page..... 3](#)

[1 Structural Components 4](#)

[2 Exterior 7](#)

[3 Roofing..... 14](#)

[4 Plumbing System 16](#)

[5 Electrical System 22](#)

[6 Heating 26](#)

[7 Central Air Conditioning 30](#)

[8 Interiors..... 33](#)

[9 Insulation and Ventilation..... 36](#)

[10 Built-In Kitchen Appliances..... 38](#)

[General Summary 39](#)

[Agreement 45](#)

Date: 6/8/2025	Time: 09:00 AM	Report ID: Sample-001
Property: 369 Sea Trail Way Anytown NC 11111	Customer: John HomeBuyer	Real Estate Professional:

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI)= I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Repair or Replace (RR) = The item, component or unit is not functioning as intended or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Type of Inspection:
Pre-Purchase Inspection

Style of Structure:
Two Story (crawl space)

Structure Status:
Vacant

Year the Structure was Constructed:
2014

Client Is Present:
No

Radon Testing:
Tested by Delta Residential

Water Testing:
No

Wood Destroying Insect Inspection: Septic System and Well Inspection:
Not Inspected Not Inspected--Unground Components

Irrigation System:
Not Inspected--Unground Component

Start Temperature:
82 degrees

Weather:
Clear

Rain in last 3 days:
Yes

Contract Status:
Completed online

1. Structural Components

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

Styles & Materials

FOUNDATION:

Masonry block and brick

FLOOR STRUCTURE:

Engineered wood I-beams
Steel I-beams

METHOD USED TO OBSERVE BASEMENT/CRAWL SPACE:

Crawled with a flashlight and probe

CRAWL SPACE MOISTURE/VAPOR BARRIER:

100% coverage

COLUMNS OR PIERS:

Masonry block and brick

INTERIOR SUPPORTS:

Supporting walls
Wood staircase newels
Columns

WALL STRUCTURE:

Wood framing

ROOF-TYPE:

Gable
Hip
Shed

ROOF FRAMING/SHEATHING MATERIAL:

OSB radiant barrier sheathing

CEILING STRUCTURE:

2 x 4 engineered wood trusses
2 x 6 engineered wood trusses

ROOF STRUCTURE:

2 x 4 engineered wood trusses
2 x 6 engineered wood trusses

METHOD USED TO OBSERVE ATTIC:

Limited access due to framing components
Limited access due to HVAC ductwork
Limited access due to low clearance
Limited access due to partial flooring
Pull down staircase
Walked with flashlight

Items

1.0 FOUNDATIONS

Comments: Inspected, Repair or Replace

(1) White efflorescence (powder substance) on the masonry block foundation wall indicates moisture is in contact with masonry components. Contact a waterproofing contractor to further evaluate and determine what corrective measures may be needed.



1.0 Item 1(Picture)

(2) Noted standing water in the crawl due to condensation from the HVAC ductwork. A waterproofing/drainage specialist should further investigate and repair to prevent water entry.



1.0 Item 2(Picture)



1.0 Item 3(Picture)

1.1 WALLS (Structural)

Comments: Inspected

1.2 FLOORS (Structural)

Comments: Inspected

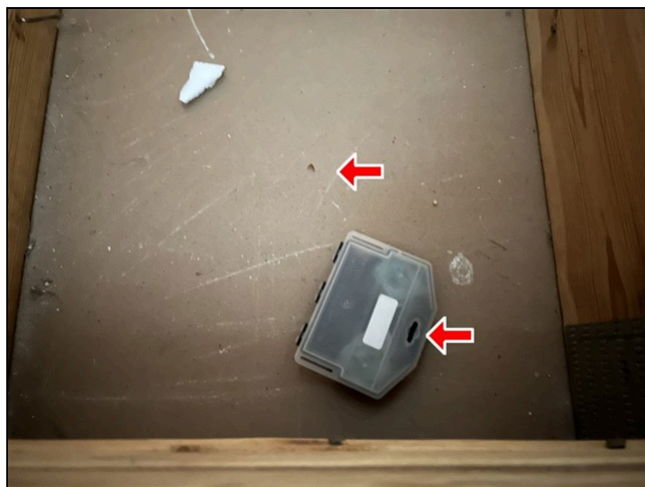
1.3 CEILINGS (structural)

Comments: Inspected

1.4 ROOF STRUCTURE AND ATTIC

Comments: Inspected, Repair or Replace

Noted evidence of vermin in the attic (feces and tunnels). Environmental concern. A pest removal contractor should further investigate.



1.4 Item 1(Picture)

1.5 COLUMNS OR PIERS

Comments: Inspected

1.6 BASEMENT/CRAWL SPACE CONDITIONS--VAPOR BARRIER COVERAGE

Comments: Inspected

1.7 ATTIC FIREWALLS

Comments: Not Present

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Exterior

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

Styles & Materials

<p>SIDING STYLE: Horizontal lap</p>	<p>SIDING/WALL CLADDING MATERIAL: Fiber cement Manufactured stone</p>	<p>METHOD USED TO INSPECT SIDING/WALL CLADDING: From ground</p>
<p>EXTERIOR ENTRY DOORS: Metal Wood with insulated glass</p>	<p>APPURTENANCE: Covered porch Deck with steps Sidewalk Screened porch</p>	<p>DECK/SUPPORTS/SCREENED PORCH: 2x8 Treated wood joists 6x6 Treated wood posts Attached to the structure with galvanized bolts or coated ledger screws Rubber flashing</p>
<p>GARAGE DOOR TYPE: Four car automatic</p>	<p>GARAGE DOOR MATERIAL: Metal</p>	<p>AUTO OPENER MANUFACTURER: Chamberlain Liftmaster</p>
<p>GARAGE DOOR(S) REVERSE WHEN MET WITH RESISTANCE: Yes</p>	<p>GARAGE DOOR REVERSES WITH THE ELECTRONIC SENSORS: Yes</p>	<p>DRIVEWAY: Concrete</p>

Items

2.0 GARAGE DOOR, REVERSE MECHANISM AND SENSORS

Comments: Inspected

2.1 DOORS (Exterior)

Comments: Inspected, Repair or Replace

The front exterior entry door strikes the threshold during operation. A qualified contractor should further investigate and repair or replace to prevent damage to the door and weather-stripping.

2.2 WINDOWS

Comments: Inspected, Repair or Replace

(1) The windows at the following locations do not latch: bonus room left front window. A qualified contractor should further investigate and repair to allow proper operation.

(2) Noted seal failures (moisture between the glass) on the following windows: master bedroom right rear window (upper glass). Contact MI Windows (www.miwd.com 717-365-2500) for possible warranty replacement. A qualified contractor should further investigate and repair to prevent further deterioration.

2.3 WALL CLADDING FLASHING AND TRIM

Comments: Inspected, Repair or Replace

(1) Damaged siding at the following locations: right side of the structure. (the pictures may be a representative number). Water can enter through the damaged siding and cause deterioration of the adjacent framing components. A qualified contractor should repair or replace all damaged siding to prevent further deterioration and water entry.



2.3 Item 1(Picture)



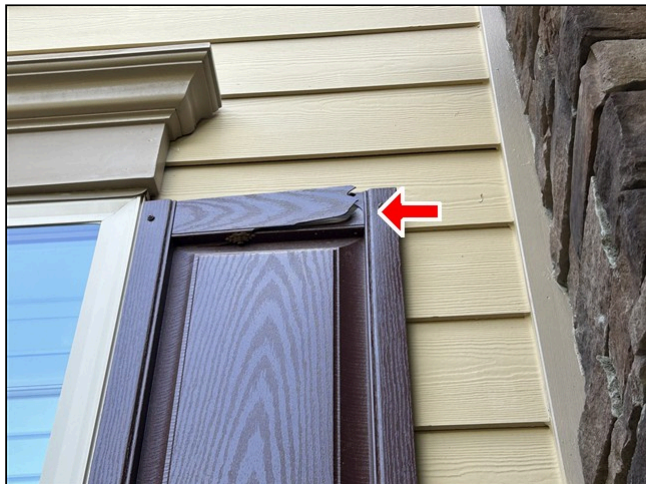
2.3 Item 2(Picture)

(2) The stone veneer is in direct contact with the ground and landscaping material. Refer to the manufacturer's specifications concerning this issue. The stone can separate from the wall when in direct contact with wet areas. A stone mason should further investigate and repair to prevent possible deterioration.



2.3 Item 3(Picture)

(3) Damaged/loose shutters on the front of the structure. A qualified contractor should further investigate and repair to prevent further deterioration.



2.3 Item 4(Picture)



2.3 Item 5(Picture)

(4) Damaged trim at the crawl space entry door. A qualified contractor should further investigate and repair to prevent further deterioration.



2.3 Item 6(Picture)

2.4 EAVES, SOFFITS AND FASCIAS

Comments: Inspected

2.5 BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES AND APPLICABLE RAILINGS

Comments: Inspected, Repair or Replace

(1) Openings between the stone pavers on the front porch entry steps. A qualified contractor should further investigate and repair to prevent water entry.



2.5 Item 1(Picture)

(2) The front porch concrete slab has recessed below the surrounding stone pavers. The fill material may have settled. A qualified contractor should further investigate and repair to prevent further deterioration.



2.5 Item 2(Picture)

2.6 DECKS, SCREENED PORCH AND APPLICABLE RAILINGS

Comments: Inspected

2.7 EXTERIOR CAULK / PAINT

Comments: Inspected, Repair or Replace

(1) Openings between the exterior siding and the vertical wood trim boards surrounding the structure. Seal openings with silicone to prevent vermin and water entry.



2.7 Item 1(Picture)



2.7 Item 2(Picture)

(2) Openings between the exterior trim joints (the pictures may be a representative number). A qualified contractor should further investigate and repair to prevent vermin and water entry.



2.7 Item 3(Picture)

**2.8 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIOS, WALKWAYS AND RETAINING WALLS
(With respect to their effect on the condition of the building)**

Comments: Inspected, Repair or Replace

(1) Damaged concrete on the driveway, garage, and front porch slabs. Contact a concrete contractor for repair to prevent further deterioration.



2.8 Item 1(Picture)



2.8 Item 2(Picture)



2.8 Item 3(Picture)

(2) The grade of the soil at the left rear of the structure appears to be inadequate. Evidence of missing soil was present in these areas. A landscaping contractor or drainage specialist should further investigate and repair to enable the water to exit away from the structure and to prevent further erosion.



2.8 Item 4(Picture)

2.9 STORM DOORS/WINDOWS (including screen doors)

Comments: Inspected

2.10 FENCES, PRIVACY PANELS AND GATES

Comments: Not Present

2.11 RETAINING WALLS

Comments: Not Present

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Roofing

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

Styles & Materials

<p>ROOF COVERING: 25 year (+) asphalt/fiberglass</p>	<p>VIEWED ROOF COVERING FROM: Binoculars Ground</p>	<p>APPROXIMATE AGE OF THE ROOF COVERING: Original</p>
---	--	--

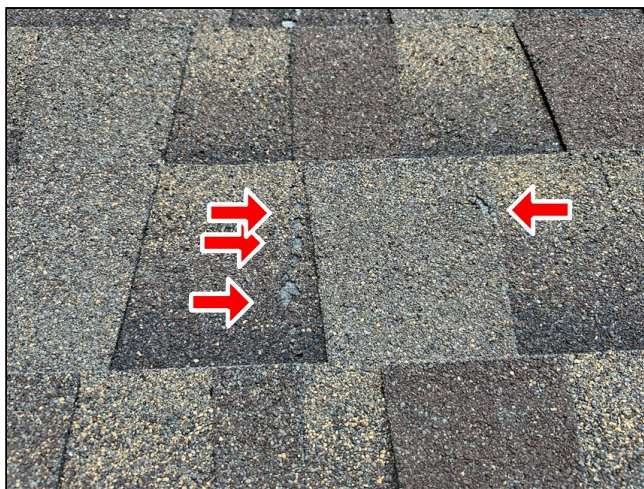
CHIMNEY (exterior):
Fiber cement (metal interior flue pipe)

Items

3.0 ROOF COVERINGS

Comments: Inspected, Repair or Replace

Damaged shingles (missing granules and visible fibers) at the following locations: rear of the structure. A qualified contractor should further investigate and repair to prevent water entry.



3.0 Item 1(Picture)



3.0 Item 2(Picture)

3.1 FLASHINGS

Comments: Inspected

3.2 CHIMNEYS AND ROOF PENETRATIONS

Comments: Inspected

3.3 ROOF DECKING/SHEATHING

Comments: Inspected

3.4 ROOFING DRAINAGE SYSTEMS (gutters)

Comments: Inspected, Repair or Replace

(1) The gutter downspouts are not attached to the drain pipes at the following locations: front and left rear of the structure. Repair to enable the water to exit away from the structure.



3.4 Item 1(Picture)

(2) The gutter downspouts empty into underground drain pipes. The inspector could not locate where the pipes terminate. Consult a qualified contractor for further investigation to ensure proper drainage.



3.4 Item 2(Picture)

3.5 SKYLIGHTS

Comments: Not Present

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4. Plumbing System

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

Styles & Materials

<p>MAIN WATER SHUT OFF VALVE LOCATION: Crawl space</p> <p>WATER FILTRATION SYSTEMS: Whole house conditioner We do not inspect filtration systems (not part of a typical home inspection)</p> <p>CLOTHES WASHER DRAIN SIZE: 2" diameter</p> <p>WATER HEATER POWER SOURCE: Gas (direct vent exhaust) Natural gas</p> <p>WATER HEATER LOCATION: Garage alcove</p>	<p>WATER SOURCE: Community water</p> <p>PLUMBING SUPPLY (from the street meter or well): PEX</p> <p>PLUMBING WASTE MATERIAL: PVC</p> <p>CAPACITY: 75 gallon</p> <p>WATER HEATER AGE: Original Over 10 years</p>	<p>SEWER WASTE SYSTEM: Septic tank</p> <p>PLUMBING DISTRIBUTION: PEX (with plastic fittings)</p> <p>PLUMBING VENT MATERIAL: PVC</p> <p>MANUFACTURER: Bradford White</p> <p>AUTO-STOP BLOCK/POST: Located in a garage alcove-- stop block not required</p>
---	--	--

Items

4.0 MAIN WATER SHUT OFF VALVE

Comments: Inspected

The picture of the main water shut off valve is provided for your information only.



4.0 Item 1(Picture)

4.1 INTERIOR DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected, Repair or Replace

(1) Open PVC cover on the sewer drain line on the left side of the structure. Replace to prevent possible

bodily injury and to prevent sewer gases from exiting.



4.1 Item 1(Picture)

(2) The septic tank and drain field were not inspected. Not part of a typical home inspection. Contact a septic contractor for evaluation, if desired.

4.2 INTERIOR WATER SUPPLY AND DISTRIBUTION SYSTEMS

Comments: Inspected

4.3 HOT WATER SYSTEMS, CONTROLS, FLUES AND VENTS

Comments: Inspected, Repair or Replace

(1) Rust colored water exiting the hot side of the faucets. This is evidence of possible deterioration of the interior of the water heater. A licensed plumber should further investigate and repair.

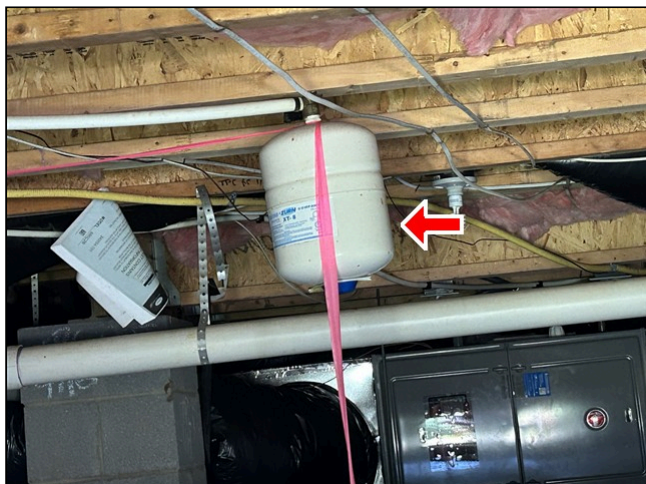


4.3 Item 1(Picture)



4.3 Item 2(Picture)

(2) The plumbing supply thermal expansion tank is not insulated. Thermal expansion tanks are required to be insulated where subjected to freezing temperatures in unconditioned spaces. A licensed plumber should further investigate and repair.



4.3 Item 3(Picture)

(3) The water heater is older than 10 years old and was functioning properly at time of the inspection. Recommend contacting a licensed plumber for further evaluation, if desired.

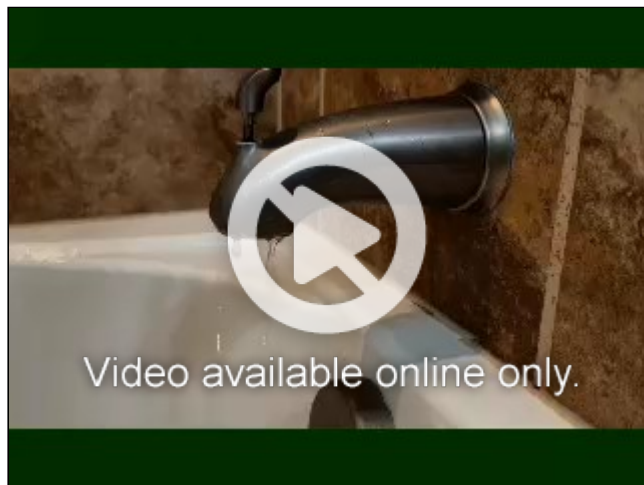
4.4 FAUCETS, BATHTUBS, SINKS, & SHOWERS

Comments: Inspected, Repair or Replace

(1) Noted water leaking from the tub supply spout when the shower is activated in the right front guest bathroom. Water can possibly backflow into the wall cavity. A licensed plumber should further investigate and repair.



4.4 Item 1(Picture)

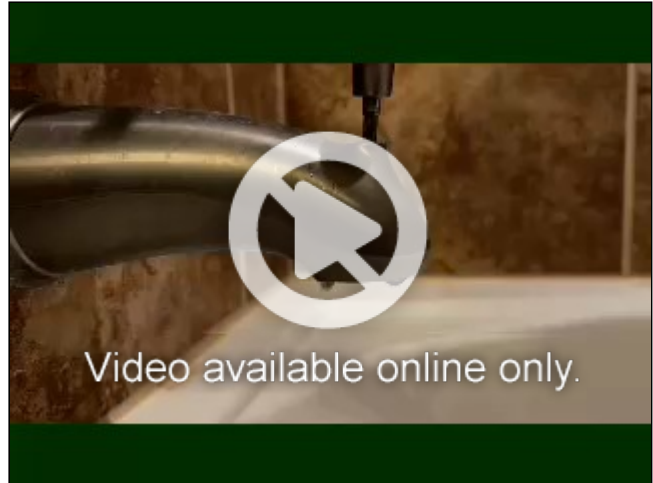


4.4 Item 2(Video)

(2) Noted water leaking from the tub supply spout when the shower is activated in the second floor right rear guest bathroom. Water can possibly backflow into the wall cavity. A licensed plumber should further investigate and repair.



4.4 Item 3(Picture)

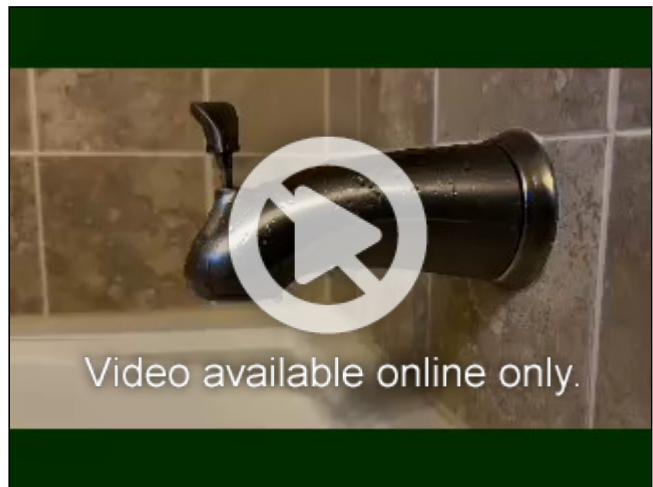


4.4 Item 4(Video)

(3) Noted water leaking from the tub supply spout when the shower is activated in the second floor hall bathroom. Water can possibly backflow into the wall cavity. A licensed plumber should further investigate and repair to prevent further deterioration.



4.4 Item 5(Picture)

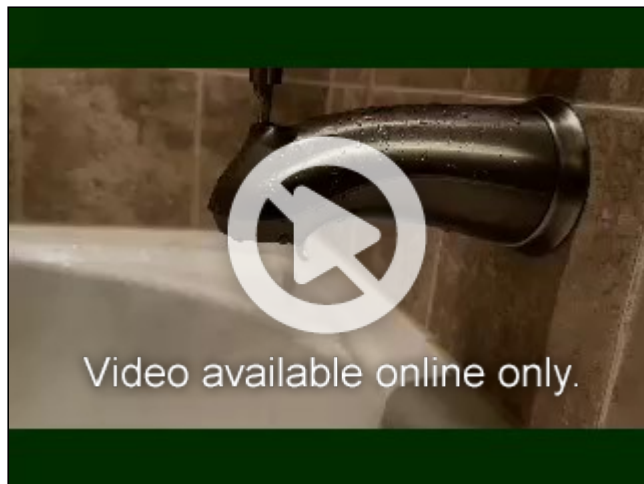


4.4 Item 6(Video)

(4) Noted water leaking from the tub supply spout when the shower is activated in the first floor hall bathroom. Water can possibly backflow into the wall cavity. A licensed plumber should further investigate and repair.



4.4 Item 7(Picture)



4.4 Item 8(Video)

(5) The second floor right rear guest bathroom vanity sink stopper assembly does not function. A licensed plumber should further investigate and repair to enable the sink to hold water.

4.5 TOILETS

Comments: Inspected

4.6 GROUT/CAULK/TILE

Comments: Inspected

4.7 BATHROOM HARDWARE / SHOWER DOORS / MIRRORS/TOWEL BARS

Comments: Inspected, Repair or Replace

The master shower door strikes the towel bar when opened. A qualified contractor should further investigate and repair to prevent damage to the door and the bar.



4.7 Item 1(Picture)

4.8 HYDRO MASSAGE BATHTUB (with jets)

Comments: Not Present

4.9 SUMP PUMP/LIFT PUMP

Comments: Not Present

4.10 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Comments: Not Present

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Electrical System

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

Styles & Materials

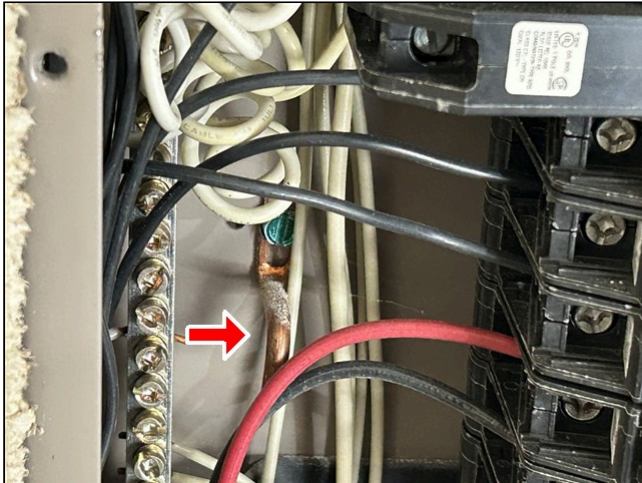
<p>ELECTRICAL SERVICE ENTRY TYPES: 220/240 Volts Below ground Limited access - could not remove interior panel to inspect incoming service cables</p>	<p>PANEL TYPE: Circuit breakers</p>	<p>BRANCH WIRE 15 and 20 AMP: Copper</p>
<p>WIRING METHODS: Grounded</p>	<p>PANEL CAPACITY: 200 Amp</p>	<p>ELEC. PANEL MANUFACTURER: Eaton</p>
<p>NUMBER OF BREAKERS/FUSES TO TURN OFF ALL POWER: No access</p>	<p>MAIN ELECTRICAL BREAKER BOX LOCATION: Right side exterior of the structure</p>	<p>ELECTRICAL SUB BREAKER BOX LOCATION: Garage</p>
<p>LOCATION OF THE BATHROOM GFCI RESET: Master bathroom</p>	<p>DRYER SOURCE: 220/240 volt/electric Natural gas Both (your choice)</p>	

Items

5.0 SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS

Comments: Inspected, Repair or Replace

(1) Noted the electrical sub panel in the garage is not bonded to the metal panel. The bonding strap is loose and not attached to the buss bar. Electrical hazard. A licensed electrician should further investigate and repair.



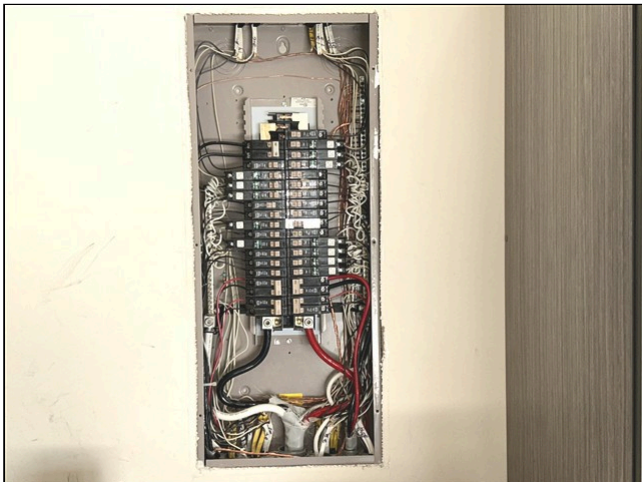
5.0 Item 1(Picture)

(2) The main electrical panel was blocked by overgrown bushes and the interior cover could not be removed. The interior of the panel was not inspected. Recommend trimming bushes to allow a minimum of 36 inches of clearance surrounding the panel to allow for inspection and maintenance.



5.0 Item 2(Picture)

(3) Pictures of the interior of the electrical panels are provided for your information only.



5.0 Item 3(Picture)

5.1 SERVICE ENTRANCE CONDUCTORS

Comments: Inspected

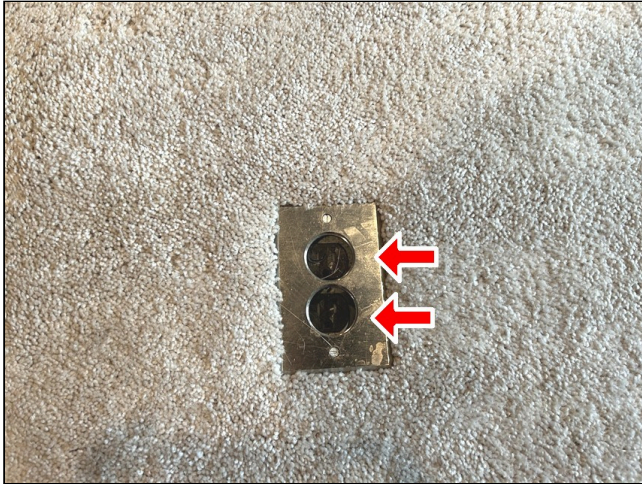
5.2 BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE

Comments: Inspected

5.3 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)

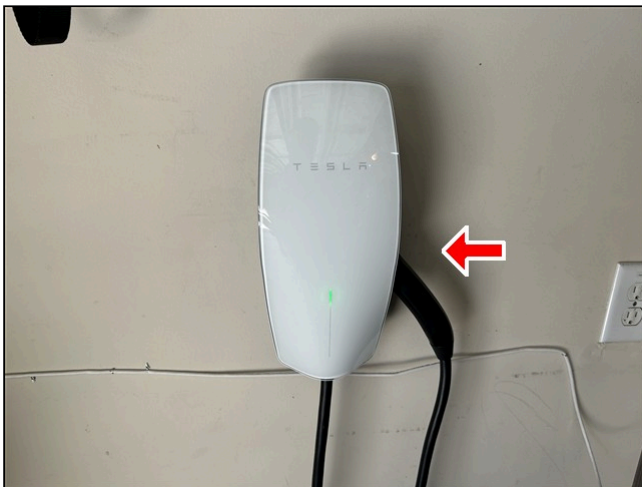
Comments: Inspected, Repair or Replace

(1) Missing screw-in covers on the floor receptacles at the following locations: bonus room. A licensed electrician should further investigate and repair to prevent debris and water entry.



5.3 Item 1(Picture)

(2) Noted a 240V receptacle in the garage. These receptacles can be used for car chargers and other high voltage appliances and are not part of a typical home inspection and were not inspected or tested. No representation of the condition or functionality of the connected electrical system.



5.3 Item 2(Picture)

(3) Open electrical junction boxes at the following locations: office right wall. Electrical hazard. All electrical connections should terminate in a junction box with a cover. A licensed electrician should further investigate and repair.



5.3 Item 3(Picture)

(4) Missing protective covers on the following light fixtures: master bedroom rear walk in closet overhead light. A licensed electrician should further investigate and repair to prevent damage to the lights and wires.

(5) The light fixtures do not function (possible bulb) at the following locations: master bedroom rear walk in closet overhead light, master bathroom rear vanity sink light, the right rear flood light, and the front porch lights. A licensed electrician should further investigate and repair to ensure proper operation.

5.4 CEILING FANS

Comments: Inspected, Repair or Replace

Could not locate the breakfast nook ceiling fan remote control. Could not adjust fan speed. Repair or replace.

5.5 SMOKE DETECTORS

Comments: Inspected

5.6 PERMANENTLY INSTALLED CARBON MONOXIDE DETECTORS (Required as of 2012)

Comments: Inspected

5.7 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS) WITHIN 6 FEET OF INTERIOR PLUMBING FIXTURES, AND ALL RECEPTACLES IN THE CARPORT, GARAGE, EXTERIOR WALLS OF THE STRUCTURE

Comments: Inspected

5.8 LANDSCAPE LIGHTING

Comments: Not Inspected, Repair or Replace

The landscaping lighting was not inspected or tested. Underground components are not covered by a typical home inspection. Recommend contacting a licensed electrician or landscaping contractor for further evaluation.

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Heating

The home inspector shall observe permanently installed heating systems including: Heating equipment; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

Styles & Materials

<p>TEMPERATURE EXITING THE VENTS: First floor = 90 degrees Second floor = 105 degrees</p> <p>HEAT SYSTEM MANUFACTURER: Carrier Rheem</p> <p>FURNACE SERVICE PANELS REMOVED: Yes</p> <p>FILTER SIZE: 14x20 14x25</p> <p>FIREPLACE CHIMNEY/FLUE PIPE: Blocked by glass--partially visible</p> <p>NUMBER OF WOODSTOVES: None</p>	<p>HEAT TYPE: Gas split system (first floor) Gas split system (second floor)</p> <p>NUMBER OF HEAT SYSTEMS (excluding wood): 2</p> <p>DUCTWORK: Insulated Rigid ducts Flex pipe</p> <p>OPERABLE FIREPLACES: One</p> <p>CHIMNEY CAP/FLUE PIPE COVER: Present</p>	<p>ENERGY SOURCE: Natural gas</p> <p>HEATING UNIT AGE (s): 1st floor unit 1-5 years old 2nd floor unit--over 10 years old</p> <p>FILTER TYPE: Disposable</p> <p>TYPES OF FIREPLACES: Self lighting pilot with battery backup Vented gas logs with blower fan</p> <p>CORRUGATED STAINLESS STEEL TUBING (CSST): CSST--outside Bonded/grounded to gas supply valve</p>
--	--	--

Items

6.0 HEATING EQUIPMENT

Comments: Inspected, Repair or Replace

(1) The second floor HVAC air handler unit is over 10 years of age. A licensed HVAC mechanical contractor should be consulted for an exhaustive inspection and preventive maintenance service.

(2) Supply in heat mode - first floor



6.0 Item 1(Picture)

(3) Supply in heat mode - second floor



6.0 Item 2(Picture)

6.1 NORMAL OPERATING CONTROLS

Comments: Inspected

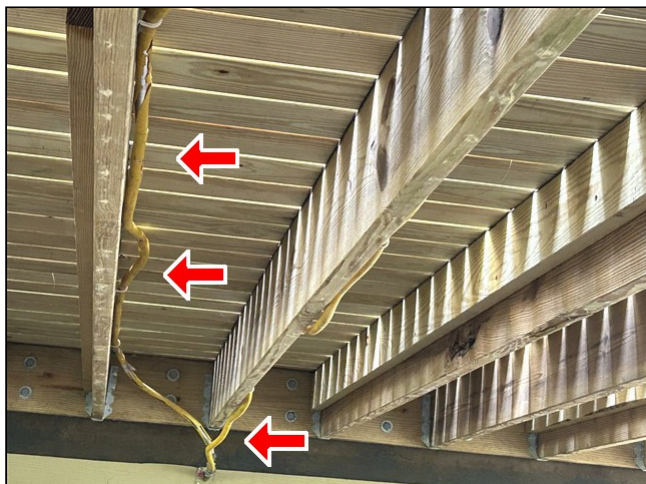
6.2 AUTOMATIC SAFETY CONTROLS

Comments: Inspected

6.3 HEAT DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Comments: Inspected, Repair or Replace

(1) The flexible yellow CSST gas supply line is exposed to the exterior. These lines were not intended for exterior usage. Safety hazard. A licensed HVAC mechanical contractor should further investigate to determine if the line is installed to manufacturer's specifications.



6.3 Item 1(Picture)

(2) Noted air exiting around the HVAC supply ducts and distribution boxes in the attic. A licensed HVAC contractor should further investigate and repair to seal the openings to prevent heating and cooling loss.
 (3) The HVAC return filters are dirty and need to be replaced to enable the system to function properly.

6.4 PRESENCE OF INSTALLED HEAT SOURCE IN EACH ROOM

Comments: Inspected

6.5 CHIMNEYS, FLUES, FIREPLACES, AND VENTS

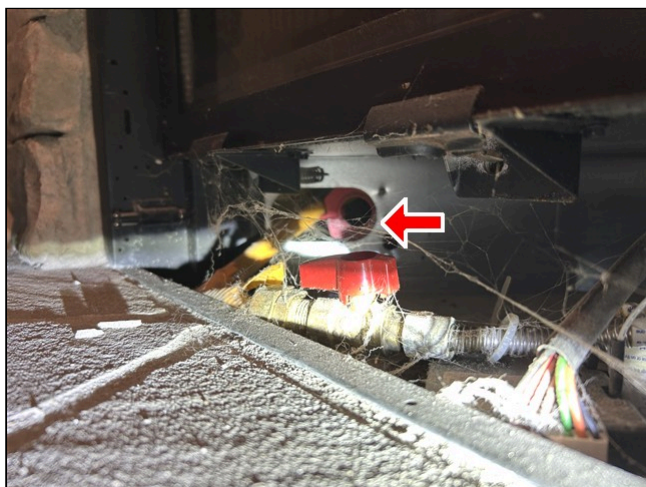
Comments: Inspected, Repair or Replace

The fireplace flue pipe was blocked by the sealed glass front. The flue pipe was partially visible.

6.6 NATURAL/PROPANE GAS FIRE LOGS

Comments: Inspected, Repair or Replace

Opening surrounding the gas supply line below the fireplace. A qualified contractor should further investigate and repair to prevent heating/cooling loss and vermin entry.



6.6 Item 1(Picture)

6.7 WOOD FIREWOOD STARTER PIPE (GAS)

Comments: Not Present

6.8 SOLID FUEL HEATING DEVICES (wood stoves)

Comments: Not Present

The heating system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

7. Central Air Conditioning

The home inspector shall observe: Central air conditioning and permanently installed cooling systems including: Cooling and air handling equipment; and Normal operating controls. Distribution systems including: Fans, pumps, ducts and piping, with associated supports, dampers, insulation, air filters, registers, fan-coil units; and The presence of an installed cooling source in each room. The home inspector shall describe: Energy sources; and Cooling equipment type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Observe window air conditioners or operate cooling systems when weather conditions or other circumstances may cause equipment damage; Observe non-central air conditioners; or Observe the uniformity or adequacy of cool-air supply to the various rooms.

Styles & Materials

COOLING EQUIPMENT ENERGY SOURCE:

Electricity

COOLING EQUIPMENT TYPE:

Split system
Two thermostats

CENTRAL AIR MANUFACTURER:

Carrier
Rheem

NUMBER OF A/C UNITS:

2

A/C UNIT AGE (s):

1st floor unit 1-5 years old
2nd floor unit--over 10 years old

TEMPERATURE DROP TEST (15-20 degrees=normal):

First floor = 20+ degrees
Second floor = 12 degrees

Items

7.0 COOLING AND AIR HANDLER EQUIPMENT

Comments: Inspected, Repair or Replace

- (1) The second floor A/C unit yielded a 12 degree temperature drop (normal = 15-20 degrees). A licensed HVAC mechanical contractor should further investigate and repair.
- (2) The second floor A/C unit is over 10 years of age. A licensed HVAC mechanical contractor should be consulted for an exhaustive inspection and preventive maintenance service.
- (3) Return in A/C mode - first floor



7.0 Item 1(Picture)

(4) Supply in A/C mode - first floor



7.0 Item 2(Picture)

(5) Return in A/C mode - second floor



7.0 Item 3(Picture)

(6) Supply in A/C mode - second floor



7.0 Item 4(Picture)

7.1 NORMAL OPERATING CONTROLS (thermostats, etc.)

Comments: Inspected

7.2 DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation,

air filters, registers, radiators, fan coil units and convectors)

Comments: Inspected

7.3 PRESENCE OF INSTALLED COOLING SOURCE IN EACH ROOM

Comments: Inspected

7.4 A/C CONDENSATION DRAIN LINES, FLOAT SWITCH, PANS AND PUMPS

Comments: Inspected, Repair or Replace

Noted rust in the over flow pan below the second floor HVAC air handler. The rust is evidence of condensation exiting the lower edge of the unit or the secondary condensation line. A licensed HVAC mechanical contractor should further investigate and repair.



7.4 Item 1(Picture)

The cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed HVAC contractor would discover (Heating, Ventilation, and Air Conditioning). Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8. Interiors

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

CEILING MATERIALS:

Sheetrock/drywall (Gypsum Board)

WALL MATERIAL:

Sheetrock/drywall (Gypsum Board)

FLOOR COVERING(S):

Carpet
Tile
Laminated T&G

INTERIOR DOORS:

Wood

WINDOW TYPES:

Thermal/insulated simulated divided glass
Tilt feature
Vinyl single hung
Picture windows--insulated glass

WINDOW MANUFACTURER:

MI Windows & Doors www.miwd.com
717-365-2500

CABINETRY:

Wood

COUNTERTOP:

Granite

Items

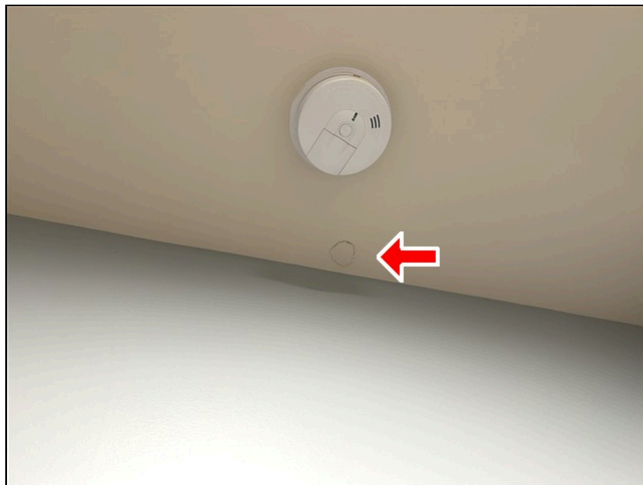
8.0 STEPS, STAIRWAYS, BALCONIES AND RAILINGS (including pulldown staircases)

Comments: Inspected

8.1 CEILINGS

Comments: Inspected, Repair or Replace

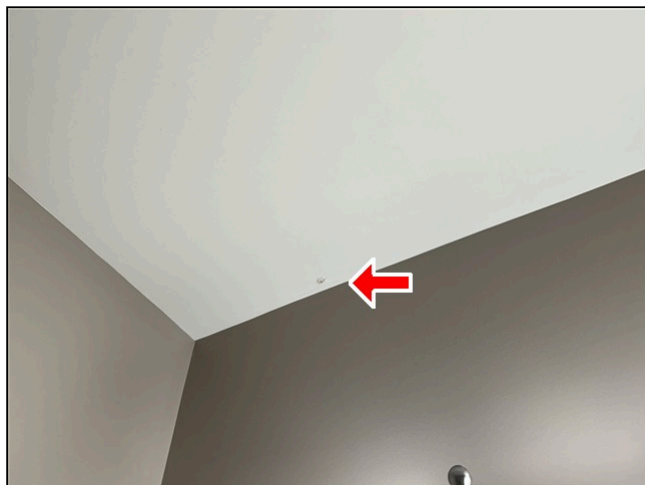
Noted nails protruding from the ceiling at several locations. Not considered a structural issue. A qualified contractor should further investigate and repair to prevent further deterioration.



8.1 Item 1(Picture)



8.1 Item 2(Picture)



8.1 Item 3(Picture)

8.2 WALLS

Comments: Inspected, Repair or Replace

Evidence of an organic growth is present on the walls at the following locations: garage rear wall. This evidence is due to possibly higher than typical moisture levels. We did not inspect, test or determine if this growth is or is not a health hazard. A certified mold specialist should further investigate and determine the method of removal.



8.2 Item 1(Picture)

8.3 FLOORS

Comments: Inspected

8.4 CLOSETS, COUNTERS, AND A REPRESENTATIVE NUMBER OF CABINETS

Comments: Inspected

8.5 DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected, Repair or Replace

The second floor hallway linen closet left sliding door is out of the lower guide assembly. A qualified contractor should further investigate and repair to prevent the doors from swinging inward or outward.

8.6 WINDOWS (REPRESENTATIVE NUMBER)

Comments: Inspected

8.7 INTERIOR TRIM

Comments: Inspected

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. Insulation and Ventilation

The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

Styles & Materials

ATTIC INSULATION:

Blown-in loose fill fiberglass

ATTIC R- VALUE:

Approximate R-38

ATTIC VENTILATION:

Ridge vents
Soffit vents

BASEMENT/CRAWL SPACE INSULATION:

Fiberglass batts

BASEMENT/CRAWL SPACE VENTILATION:

Manual foundation vents

BATHROOM VENTILATION TYPES:

Fan
Window

Items

9.0 INSULATION AND VAPOR RETARDERS (in unfinished spaces)

Comments: Inspected, Repair or Replace

(1) Loose sections of insulation in the crawl space. A qualified contractor should further investigate and replace and secure the insulation to prevent heating/cooling loss.



9.0 Item 1(Picture)

(2) The insulation has been installed on the lower edges of the engineered floor I-beams. The insulation should be in direct contact with the floor sheathing. The air gap between the floor sheathing and insulation reduces the R-value of the floor system and traps moisture. An insulation contractor should further investigate and repair.



9.0 Item 2(Picture)

9.1 VENTILATION OF ATTIC AND FOUNDATION AREAS

Comments: Inspected, Repair or Replace

The half moon diverters at the foundation vents on the front of the structure are not flush with the foundation wall and may allow water to enter the crawl space. Repair to prevent water entry and further deterioration.



9.1 Item 1(Picture)

9.2 VENTING SYSTEMS (Kitchens, baths and laundry)

Comments: Inspected, Repair or Replace

The second floor right rear guest bathroom exhaust fan makes a "grinding" noise when activated. A licensed electrician should further investigate and repair to prevent further deterioration.

9.3 VENTILATION FANS AND THERMOSTATIC CONTROLS (ATTIC)

Comments: Not Present

9.4 WHOLE HOUSE VENTILATION FAN

Comments: Not Present

The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

10. Built-In Kitchen Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

<p>DISHWASHER: Maytag</p>	<p>OVEN/RANGE: Jenn Air</p>	<p>OVEN/RANGE TYPE: Electric oven Gas cooktop Wall oven Double wall oven Convection</p>
<p>OVEN/RANGE ANTI-TIP SAFETY DEVICE: Functioning Properly</p>	<p>BUILT-IN MICROWAVE: Jenn Air</p>	<p>EXHAUST/RANGE VENT HOOD: Jenn Air</p>
<p>MICROVAVE OR VENT HOOD (type of vent): Vents to the exterior</p>	<p>REFRIGERATOR: Jenn Air</p>	<p>WINE COOLER: Jenn-Air</p>

Items

10.0 DISHWASHER

Comments: Inspected

10.1 RANGES/OVENS/COOKTOPS

Comments: Inspected, Repair or Replace

The ignitor continues to operate when the right rear gas cooktop burner is in operation. An appliance contractor should further investigate and repair.

10.2 FOOD WASTE DISPOSER

Comments: Not Present

10.3 BUILT-IN MICROWAVE COOKING EQUIPMENT

Comments: Inspected

10.4 RANGE HOOD (including down draft fans and below the microwave)

Comments: Inspected

10.5 REFRIGERATOR

Comments: Inspected

The refrigerator/ice maker is considered an "AS IS" component and was inspected for functionality at time of inspection only. No representation of age or condition.

10.6 WASHER / DRYER

Comments: Not Inspected

10.7 WINE COOLER

Comments: Inspected

The wine cooler is considered an "AS IS" component and was inspected for functionality at time of inspection only. No representation of age or condition.

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

General Summary



Trident Pro Home Inspections, LLC

**P. O. Box 37282
Raleigh, NC 27627
919-818-3926**

Customer
John HomeBuyer

Address
369 Sea Trail Way
Anytown NC 11111

The following items or discoveries indicate that these systems or components do not function as intended or adversely affects the habitability of the dwelling; or appear to warrant further investigation by a specialist, or requires subsequent observation. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function, efficiency, or safety of the home. This Summary is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your North Carolina real estate agent or an attorney. *The home inspector's view point is facing the front door when reporting issues.*

1. Structural Components

1.0 FOUNDATIONS

Inspected, Repair or Replace

(1) White efflorescence (powder substance) on the masonry block foundation wall indicates moisture is in contact with masonry components. Contact a waterproofing contractor to further evaluate and determine what corrective measures may be needed.

(2) Noted standing water in the crawl due to condensation from the HVAC ductwork. A waterproofing/drainage specialist should further investigate and repair to prevent water entry.

1.4 ROOF STRUCTURE AND ATTIC

Inspected, Repair or Replace

Noted evidence of vermin in the attic (feces and tunnels). Environmental concern. A pest removal contractor should further investigate.

2. Exterior

2.1 DOORS (Exterior)

Inspected, Repair or Replace

The front exterior entry door strikes the threshold during operation. A qualified contractor should

further investigate and repair or replace to prevent damage to the door and weather-stripping.

2.2 WINDOWS

Inspected, Repair or Replace

(1) The windows at the following locations do not latch: bonus room left front window. A qualified contractor should further investigate and repair to allow proper operation.

(2) Noted seal failures (moisture between the glass) on the following windows: master bedroom right rear window (upper glass). Contact MI Windows (www.miwd.com 717-365-2500) for possible warranty replacement. A qualified contractor should further investigate and repair to prevent further deterioration.

2.3 WALL CLADDING FLASHING AND TRIM

Inspected, Repair or Replace

(1) Damaged siding at the following locations: right side of the structure. (the pictures may be a representative number). Water can enter through the damaged siding and cause deterioration of the adjacent framing components. A qualified contractor should repair or replace all damaged siding to prevent further deterioration and water entry.

(2) The stone veneer is in direct contact with the ground and landscaping material. Refer to the manufacturer's specifications concerning this issue. The stone can separate from the wall when in direct contact with wet areas. A stone mason should further investigate and repair to prevent possible deterioration.

(3) Damaged/loose shutters on the front of the structure. A qualified contractor should further investigate and repair to prevent further deterioration.

(4) Damaged trim at the crawl space entry door. A qualified contractor should further investigate and repair to prevent further deterioration.

2.5 BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES AND APPLICABLE RAILINGS

Inspected, Repair or Replace

(1) Openings between the stone pavers on the front porch entry steps. A qualified contractor should further investigate and repair to prevent water entry.

(2) The front porch concrete slab has recessed below the surrounding stone pavers. The fill material may have settled. A qualified contractor should further investigate and repair to prevent further deterioration.

2.7 EXTERIOR CAULK / PAINT

Inspected, Repair or Replace

(1) Openings between the exterior siding and the vertical wood trim boards surrounding the structure. Seal openings with silicone to prevent vermin and water entry.

(2) Openings between the exterior trim joints (the pictures may be a representative number). A qualified contractor should further investigate and repair to prevent vermin and water entry.

2.8 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIOS, WALKWAYS AND RETAINING WALLS (With respect to their effect on the condition of the building)

Inspected, Repair or Replace

(1) Damaged concrete on the driveway, garage, and front porch slabs. Contact a concrete contractor for repair to prevent further deterioration.

(2) The grade of the soil at the left rear of the structure appears to be inadequate. Evidence of missing soil was present in these areas. A landscaping contractor or drainage specialist should further investigate and repair to enable the water to exit away from the structure and to prevent further erosion.

3. Roofing

3.0 ROOF COVERINGS

Inspected, Repair or Replace

Damaged shingles (missing granules and visible fibers) at the following locations: rear of the

structure. A qualified contractor should further investigate and repair to prevent water entry.

3.4 ROOFING DRAINAGE SYSTEMS (gutters)

Inspected, Repair or Replace

(1) The gutter downspouts are not attached to the drain pipes at the following locations: front and left rear of the structure. Repair to enable the water to exit away from the structure.

(2) The gutter downspouts empty into underground drain pipes. The inspector could not locate where the pipes terminate. Consult a qualified contractor for further investigation to ensure proper drainage.

4. Plumbing System

4.1 INTERIOR DRAIN, WASTE AND VENT SYSTEMS

Inspected, Repair or Replace

(1) Open PVC cover on the sewer drain line on the left side of the structure. Replace to prevent possible bodily injury and to prevent sewer gases from exiting.

4.3 HOT WATER SYSTEMS, CONTROLS, FLUES AND VENTS

Inspected, Repair or Replace

(2) The plumbing supply thermal expansion tank is not insulated. Thermal expansion tanks are required to be insulated where subjected to freezing temperatures in unconditioned spaces. A licensed plumber should further investigate and repair.

(3) The water heater is older than 10 years old and was functioning properly at time of the inspection. Recommend contacting a licensed plumber for further evaluation, if desired.

4.4 FAUCETS, BATHTUBS, SINKS, & SHOWERS

Inspected, Repair or Replace

(1) Noted water leaking from the tub supply spout when the shower is activated in the right front guest bathroom. Water can possibly backflow into the wall cavity. A licensed plumber should further investigate and repair.

(2) Noted water leaking from the tub supply spout when the shower is activated in the second floor right rear guest bathroom. Water can possibly backflow into the wall cavity. A licensed plumber should further investigate and repair.

(3) Noted water leaking from the tub supply spout when the shower is activated in the second floor hall bathroom. Water can possibly backflow into the wall cavity. A licensed plumber should further investigate and repair to prevent further deterioration.

(4) Noted water leaking from the tub supply spout when the shower is activated in the first floor hall bathroom. Water can possibly backflow into the wall cavity. A licensed plumber should further investigate and repair.

(5) The second floor right rear guest bathroom vanity sink stopper assembly does not function. A licensed plumber should further investigate and repair to enable the sink to hold water.

4.7 BATHROOM HARDWARE / SHOWER DOORS / MIRRORS/TOWEL BARS

Inspected, Repair or Replace

The master shower door strikes the towel bar when opened. A qualified contractor should further investigate and repair to prevent damage to the door and the bar.

5. Electrical System

5.0 SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS

Inspected, Repair or Replace

(1) Noted the electrical sub panel in the garage is not bonded to the metal panel. The bonding strap is loose and not attached to the buss bar. Electrical hazard. A licensed electrician should further investigate and repair.

(2) The main electrical panel was blocked by overgrown bushes and the interior cover could not be

removed. The interior of the panel was not inspected. Recommend trimming bushes to allow a minimum of 36 inches of clearance surrounding the panel to allow for inspection and maintenance.

5.3 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)

Inspected, Repair or Replace

(1) Missing screw-in covers on the floor receptacles at the following locations: bonus room. A licensed electrician should further investigate and repair to prevent debris and water entry.

(2) Noted a 240V receptacle in the garage. These receptacles can be used for car chargers and other high voltage appliances and are not part of a typical home inspection and were not inspected or tested. No representation of the condition or functionality of the connected electrical system.

(3) Open electrical junction boxes at the following locations: office right wall. Electrical hazard. All electrical connections should terminate in a junction box with a cover. A licensed electrician should further investigate and repair.

(4) Missing protective covers on the following light fixtures: master bedroom rear walk in closet overhead light. A licensed electrician should further investigate and repair to prevent damage to the lights and wires.

(5) The light fixtures do not function (possible bulb) at the following locations: master bedroom rear walk in closet overhead light, master bathroom rear vanity sink light, the right rear flood light, and the front porch lights. A licensed electrician should further investigate and repair to ensure proper operation.

5.4 CEILING FANS

Inspected, Repair or Replace

Could not locate the breakfast nook ceiling fan remote control. Could not adjust fan speed. Repair or replace.

5.8 LANDSCAPE LIGHTING

Not Inspected, Repair or Replace

The landscaping lighting was not inspected or tested. Underground components are not covered by a typical home inspection. Recommend contacting a licensed electrician or landscaping contractor for further evaluation.

6. Heating

6.0 HEATING EQUIPMENT

Inspected, Repair or Replace

(1) The second floor HVAC air handler unit is over 10 years of age. A licensed HVAC mechanical contractor should be consulted for an exhaustive inspection and preventive maintenance service.

6.3 HEAT DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Inspected, Repair or Replace

(1) The flexible yellow CSST gas supply line is exposed to the exterior. These lines were not intended for exterior usage. Safety hazard. A licensed HVAC mechanical contractor should further investigate to determine if the line is installed to manufacturer's specifications.

(2) Noted air exiting around the HVAC supply ducts and distribution boxes in the attic. A licensed HVAC contractor should further investigate and repair to seal the openings to prevent heating and cooling loss.

(3) The HVAC return filters are dirty and need to be replaced to enable the system to function properly.

6.5 CHIMNEYS, FLUES, FIREPLACES, AND VENTS

Inspected, Repair or Replace

The fireplace flue pipe was blocked by the sealed glass front. The flue pipe was partially visible.

6.6 NATURAL/PROPANE GAS FIRE LOGS**Inspected, Repair or Replace**

Opening surrounding the gas supply line below the fireplace. A qualified contractor should further investigate and repair to prevent heating/cooling loss and vermin entry.

7. Central Air Conditioning**7.0 COOLING AND AIR HANDLER EQUIPMENT****Inspected, Repair or Replace**

(1) The second floor A/C unit yielded a 12 degree temperature drop (normal = 15-20 degrees). A licensed HVAC mechanical contractor should further investigate and repair.

(2) The second floor A/C unit is over 10 years of age. A licensed HVAC mechanical contractor should be consulted for an exhaustive inspection and preventive maintenance service.

7.4 A/C CONDENSATION DRAIN LINES, FLOAT SWITCH, PANS AND PUMPS**Inspected, Repair or Replace**

Noted rust in the over flow pan below the second floor HVAC air handler. The rust is evidence of condensation exiting the lower edge of the unit or the secondary condensation line. A licensed HVAC mechanical contractor should further investigate and repair.

8. Interiors**8.1 CEILINGS****Inspected, Repair or Replace**

Noted nails protruding from the ceiling at several locations. Not considered a structural issue. A qualified contractor should further investigate and repair to prevent further deterioration.

8.2 WALLS**Inspected, Repair or Replace**

Evidence of an organic growth is present on the walls at the following locations: garage rear wall. This evidence is due to possibly higher than typical moisture levels. We did not inspect, test or determine if this growth is or is not a health hazard. A certified mold specialist should further investigate and determine the method of removal.

8.5 DOORS (REPRESENTATIVE NUMBER)**Inspected, Repair or Replace**

The second floor hallway linen closet left sliding door is out of the lower guide assembly. A qualified contractor should further investigate and repair to prevent the doors from swinging inward or outward.

9. Insulation and Ventilation**9.0 INSULATION AND VAPOR RETARDERS (in unfinished spaces)****Inspected, Repair or Replace**

(1) Loose sections of insulation in the crawl space. A qualified contractor should further investigate and replace and secure the insulation to prevent heating/cooling loss.

(2) The insulation has been installed on the lower edges of the engineered floor I-beams. The insulation should be in direct contact with the floor sheathing. The air gap between the floor sheathing and insulation reduces the R-value of the floor system and traps moisture. An insulation contractor should further investigate and repair.

9.1 VENTILATION OF ATTIC AND FOUNDATION AREAS**Inspected, Repair or Replace**

The half moon diverters at the foundation vents on the front of the structure are not flush with the

foundation wall and may allow water to enter the crawl space. Repair to prevent water entry and further deterioration.

9.2 VENTING SYSTEMS (Kitchens, baths and laundry)

Inspected, Repair or Replace

The second floor right rear guest bathroom exhaust fan makes a "grinding" noise when activated. A licensed electrician should further investigate and repair to prevent further deterioration.

10. Built-In Kitchen Appliances

10.1 RANGES/OVENS/COOKTOPS

Inspected, Repair or Replace

The ignitor continues to operate when the right rear gas cooktop burner is in operation. An appliance contractor should further investigate and repair.

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Paul E. Stubbs

**Trident Pro Home Inspections, LLC**

PO Box 37282
Raleigh, NC 27627
(919) 818-3926

Real Estate Inspection Contract

Client(s) Name: John HomeBuyer Inspected Address: 369 Sea Trail Way
Anytown NC 11111
Current Address: Date of Inspection: 6/8/2025
Client(s) Phone: Email Address: Dan@HomeBuyer.com

Trident Pro Home Inspections, LLC and/or it's contractors, are hereby employed by the Client(s) listed above to perform a limited visual inspection of apparent conditions in readily accessible areas existing at the time of inspection only. Generally accepted professional inspection standards and methods shall be used. This home inspection is being conducted in accordance with the standards of practice of the North Carolina Home Inspector Licensing Board and a copy of these guidelines are available from the Board. Absolutely no warranties or guarantees are given or implied for any latent or concealed defects. Additionally, any repairs after the inspection may reveal defects that are not accessible at the time of inspection. Trident Pro Home Inspections, LLC and/or it's contractors are not liable for any defects or deficiencies that cannot be reasonably discovered during the limited visual inspection. As part of your home inspection the inspector will inspect and report (per NC state regulations) on the following areas unless that area has been marked as an exclusion from our services:

1. Structural Components - including foundation, floors, walls, columns, ceilings, and roofs.
2. Exterior - including wall claddings, exterior entry doors, decks, steps, driveways/ sidewalks, and a representative number of windows.
3. Roofing- including roof coverings, roof drainage systems, flashing, skylights, and chimneys.
4. Plumbing Systems- including interior water supply, distribution system, interior drain waste, vent system. water heater, and sump pump.
5. Electrical Systems - including service entrance conductors, service equipment, main distribution panels, voltage ratings, a representative number of installed ceiling fans, lighting fixtures, switches and receptacles, ground fault circuit interrupters, and carbon monoxide/smoke detectors.
6. Heating Systems - including permanently installed heating system, system controls, chimneys, heat distribution system, including fans, and ductwork.
7. Air Conditioning Systems- including normal operating control of the air conditioning and the distribution systems.

8. Interiors - including walls, ceilings, floors, staircase, a representative number of cabinets, doors, and windows.
9. Insulation & Ventilation- including insulation types, venting systems, and ventilation of the attic.
10. Built-In Kitchen Appliances - including the observation and operation of all permanently installed kitchen appliances.

****Radon testing, Termite inspection, Water testing, Septic inspection, Sewer scopes, and Detached Structures are not included in a typical home inspection. Any of these tests can be performed for an additional charge. Any additional requested services (if available) should be discussed with the home inspector prior to the inspection date.*

****Septic contractor pumping fees are not included in the agreement or home inspection invoice fees. Any associated fees would be paid by the client directly to the septic contractor.*

****Heating and Air conditioning contractor inspection fees are not included in the agreement or home inspection invoice fees. Any associated fees would be paid by the client directly to the heating and cooling contractor.*

****Hot tub and pool inspection fees are not included in the agreement or home inspection invoice fees. Any associated fees would be paid by the client directly to the hot tub/pool contractor.*

The price for this inspection with the exclusions identified above shall be:

Service	Price Amount		Sub-Total
Radon Testing (Electronic Monitor (48 hour test) Durham, Johnston & Wake Counties)	150.00	1	150.00
Home Inspection (4501 - 5000 square feet)	655.00	1	655.00

Total: 805.00

EXCLUSIONS AND LIMITATIONS: The parties acknowledge and agree that this is limited to a visual observation of apparent conditions existing at the time of the inspection only. The inspection is not intended to provide the purchaser with information regarding the advisability of this purchase, the market value of the property, the compliance or non-compliance with building codes, ordinance, and statutes, the suitability of this property for specialized use, life expectancy of any component or system in the property, efficiency of any component or system, cosmetic items, underground items (i.e. lawn irrigation systems, electrical wiring, plumbing pipes or systems, propane tanks, geo-thermal HVAC systems and etc.) or items that are not permanently installed (i.e. clothes washing/drying machines, refrigeration units, coffee makers, countertop microwaves, etc.). Home inspectors are not required to inspect hot tubs, pools, saunas or water features and these services are not included in a typical home inspection. Home inspectors will not dismantle HVAC units for inspection of the gas heat exchanger. Reference is specifically made to the standards of practice and code of ethics of the North Carolina Home Inspector Licensing Board for a comprehensive listing of those items, which are not required, and, unless specifically included, will not be part of this inspection. The home inspection will be performed in accordance with the North Carolina Home Inspectors Licensure Board's rules and regulations. <https://www.ncosfm.gov/licensing-cert/home-inspector-licensure-board-hilb/hilb-statutes-and-rules>

This inspection report does not address and is not intended to address the possible presence of any danger from any potentially harmful substance and environmental hazards, including but not limited to radon gas, lead paint, asbestos, urea formaldehyde (UFFI), toxins (mold), petroleum, chemical analysis, airborne hazards, polluted water, underground oil storage tanks, the presence of any vermin (insects, pests, rodents or snakes, etc.). Further, Trident Pro Home Inspections, LLC and/or it's contractors are not responsible for any misleading information provided by the seller or for any matter concealed or hidden from the inspector.


LIMIT OF LIABILITY: The inspection and report are not intended to be used as a guaranty or warranty, expressed or implied. Any issues that arise after the inspection must be discussed with the home inspector in written form (via email, text or mailed letter) prior to stating any repairs. Trident Pro Home Inspections, LLC and/or it's contractors will not be held liable for *any* repair costs that were not pre-approved prior to starting the job. It is understood and agreed that should Trident Pro Home Inspections, LLC and/or it's contractors be found liable for any loss or damages resulting from a failure to perform any of its obligations, including but not limited to negligence, breach of contract or otherwise, then the liability of Trident Pro Home Inspections, LLC and/or it's contractors shall be limited to a sum equal to the amount of the fee paid by the client for this inspection and report. The limit of liability is not to exceed one year from the date of the inspection.

ARBITRATION: Should the client believe that Trident Pro Home Inspections, LLC and/or it's contractors to be liable for any issues arising out of this inspection, the client shall communicate said issues in writing to Trident Pro Home Inspections, LLC and/or it's contractors within forty-five (45) days of the date of inspection. If the issues cannot be resolved between the parties, both parties agree to submit the dispute to binding arbitration in accordance with the rules of the American Arbitration Association. Arbitration is to be conducted by an arbitrator who is a full-time building inspector with a minimum of six (6) years' experience as a building inspector. The inspection will be judged in accordance with the North Carolina Standards of Practice and Code of Ethics.

AGREEMENT: This contract represents the entire agreement between Trident Pro Home Inspections, LLC and/or it's contractors and the Client. Trident Pro Home Inspections, LLC and/or it's contractors are not responsible for alteration, enhancement, repair or replacement of any item within or upon the inspected property. **The Client acknowledges that they have read and understand the extent and limitations of this inspection and agree to all the limitations, terms and exclusions contained within this contract. The Client is responsible for payment if not received at the time of inspection or paid at closing. If payment is arranged with the inspector to be paid at closing, the client is responsible for payment if the property does not close or the invoice is not paid by the closing attorney.**

Client's Signature: _____ Date: June 08, 2026

Printed Name: John HomeBuyer

Inspector's Signature:  Date: June 08, 2026

Printed Name: Paul E. Stubbs

License Number: NC LIC# - 3731